

CHANGE OF USE AT EXISTING BUILDING

214 UNION BLVD. WEST ISLIP, NY 11795

TOWN OF ISLIP

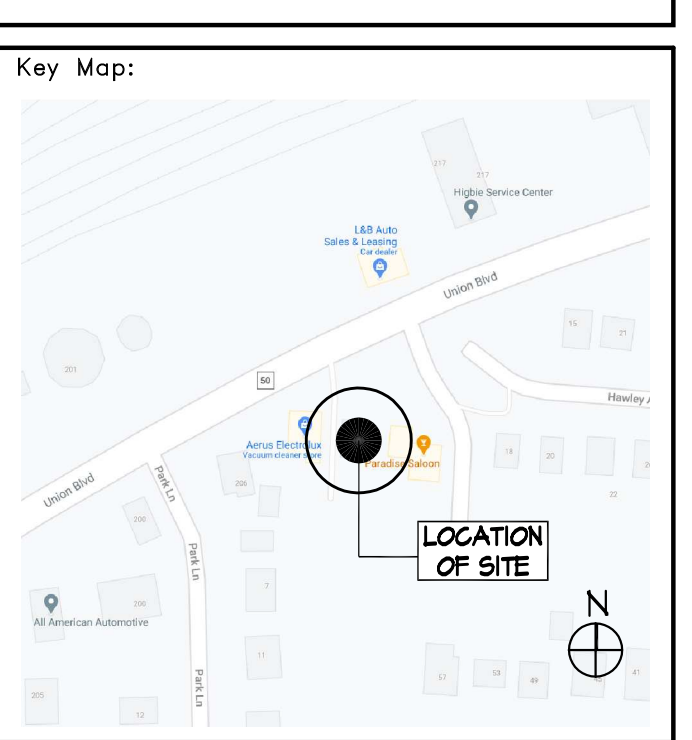
ARCHITECT: ERIK A. BJORNEBY, RA

Project:
CHANGE OF USE AT EXIST. BUILDING
 214 UNION BLVD.
 WEST ISLIP, NY 11795

DIST: 500 SECT: 454 BLOCK: 2 LOT: 18

CONTRACTORS:

ENGINEERS:



EAB
 ARCHITECTURALDESIGNS, PLLC
 4250 VETERANS HIGHWAY, STE 2040N HOLBROOK, NY 11741
 tel. (631) 314-1047 fax (631) 314-1044

No.	Date	Revision


Project Manager: EAB
 Project Architect: ERIK A. BJORNEBY, RA.
 Project Designer: GLI
 Drawn by: AC
 Checked by: EAB
 Design No.: _____ Date: 06/25/21

DOB Job No. _____

Drawing Title:

SITE PLAN

Drawing Scale: AS NOTED

Architect: ERIK A. BJORNEBY, RA.


Drawing No.: **CS101**
 Sheets in Contract: 1 of

- ### TOWN OF ISLIP STANDARD NOTES
- CONTACT THE ENGINEERING INSPECTOR (631-224-5360) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK. WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE TOWN ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE.
 - COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS. ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.
 - OBTAIN A TOWN RIGHT OF WAY WORK PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT OF WAY (631-224-5610).
 - CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.
 - PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN. COMMENCEMENT OF ANY ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.
 - CONTRACTOR SHALL CONTACT THE FIRE MARSHALL'S OFFICE (631-224-5471) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.
 - ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT, IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.
 - ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE IS TO BE CERTIFIED. DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDEC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF 6NYCRR PART 360, SOLID WASTE MANAGEMENT FACILITIES.
 - LOAD TICKETS REQUIRED FOR ALL FILL MATERIALS BROUGHT ON SITE, IDENTIFYING THE SOURCE, AND QUANTITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 2BF OR ITEM 25B.
 - ALL C&D MATERIALS EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED NYSDEC FACILITY. LOAD/TRANSFER TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.
 - THE ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P, 5 SHALL BE FOLLOWED.
 - APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE, THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PAGES 5A.75 AND 5A.76 SHALL BE FOLLOWED. CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL NOT BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.
 - REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES. APPLICANT/OWNER SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES THE UNITS ARE BEING ACCESSED FOR LOADING OR UNLOADING OF DUMPSTERS.
 - PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATION(S) TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK.
 - PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AN UNDERWRITER'S LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.

OWNER INFORMATION	
OWNER:	THOMAS KURTZ
ADDRESS:	214 UNION BLVD WEST ISLIP, NY 11795
TELE. NUMBER:	(516) 693-8365
EMAIL:	THOMASKURTZ2121@GMAIL.COM

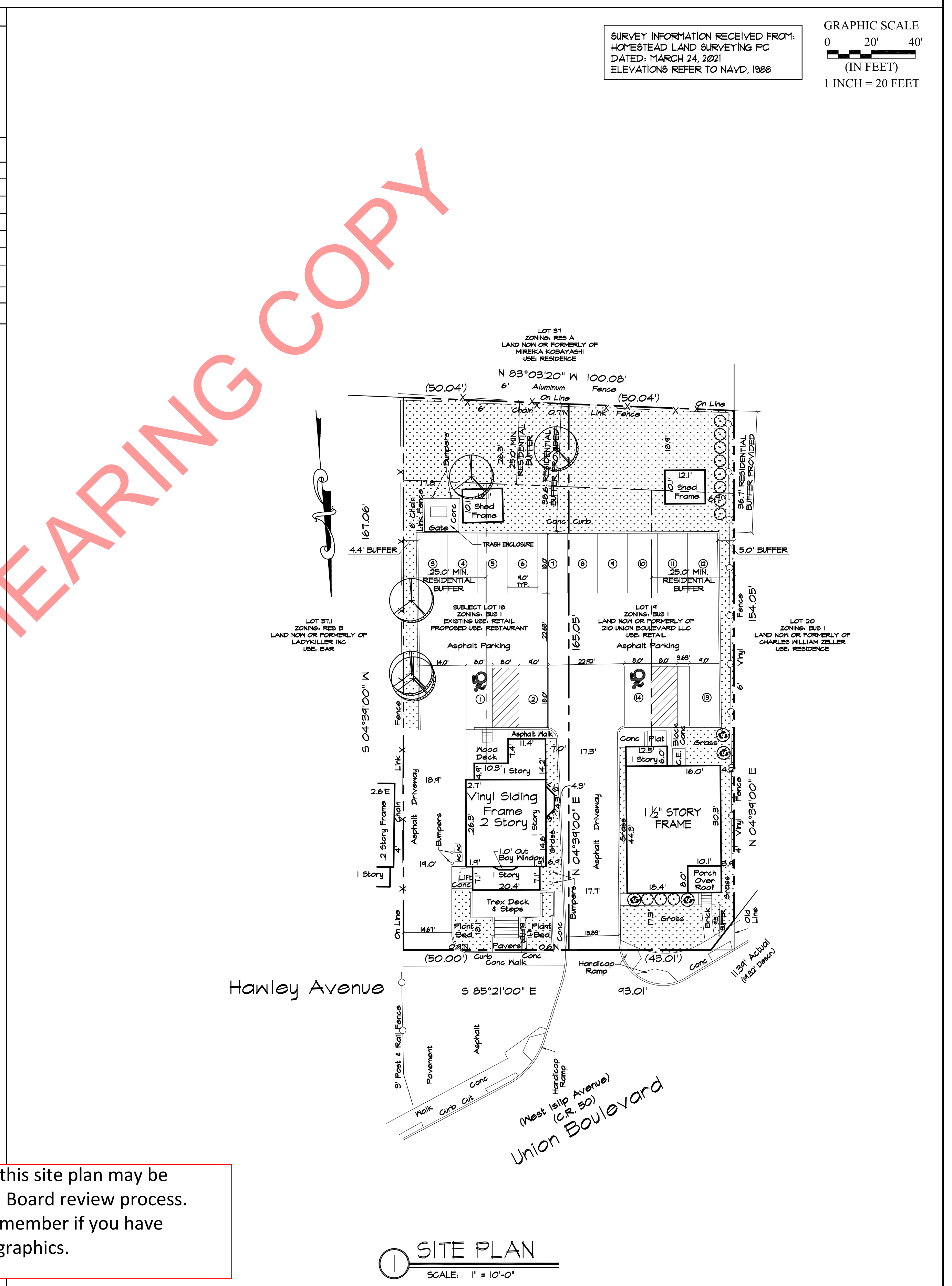
APPLICANT & ARCHITECT INFORMATION	
APPLICANT:	EAB ARCHITECTURAL DESIGNS
ADDRESS:	ERIK BJORNEBY, RA 4250 VETERANS MEM. HWY SUITE 2040N HOLBROOK, NY 11741
TELE. NUMBER:	(631) 314-1047
EMAIL:	ERIK@EABARCHITECTURE.COM

LEGEND	
TOP OF CURB ELEV.	TC
BOTTOM OF CURB ELEV.	BC
TOP OF GRATE (SLOTTED COVER)	TG
ELEVATION	EL
CAST IRON SOLID COVER	○
CAST IRON GRATING (DRAINAGE)	○
MANHOLE OR GRATING	○
SANITARY SEWER	○
DRAINAGE INLET	○
DRAINAGE MANHOLE	○
GREASE TRAP	○
GAS VALVE	○
WATER VALVE	○
WATER METER	○
CLEAN OUT	○
SEWER VENT PIPE	○
CATCH BASIN	○
BOLLARD	○
BUILDING ENTRANCE PEDESTRIAN	△
BUILDING ENTRANCE OVERHEAD DOOR	△
TEST HOLE LOCATION	+
FLOW ARROW	→
PROPERTY LINE	---
OVERHEAD ELECTRIC	—OH—
GAS MAIN (SERVICE)	—G—
WATER MAIN (SERVICE)	—W—
STORM DRAIN	—D—
SANITARY (SEWER)	—S—
CHAIN LINK FENCE	—X—
VINYL FENCE	—○—
STOCKADE FENCE	—□—
CURB	—
SIDEWALK	—
LEACHING POOL	○
HYDRANT	HYD
UTILITY POLE	○
LIGHT POLE	○
SIGN	○
HANDICAP PARKING SPACE	○

SITE DATA (LOT: 18 ONLY)			
ADDRESS:	214 UNION BLVD. WEST ISLIP, NY 11795		
DISTRICT:	500		
SECTION:	454		
BLOCK:	2		
LOT(S):	18		
ZONE:	BUS 1		
EXISTING OCCUPANCY USE:	M MERCANTILE		
PROPOSED OCCUPANCY USE:	B BUSINESS		

PRIMARY BUILDING BULK REGULATIONS (LOT: 18 ONLY)			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	7,500 SQ. FT.	8,303 SQ. FT.	8,303 SQ. FT.
MIN. WIDTH LOT	65 FT.	50.0 FT.	50.0 FT.
MIN. FRONT YARD	10 FT.	18.1 FT.	18.1 FT.
MIN. SIDE YARD	10 FT. / 20 FT.	4.3 FT. / 23.2 FT.	4.3 FT. / 23.2 FT.
MIN. REAR YARD	10 FT.	± 101.4 FT.	± 101.4 FT.
MAX. FAR	0.40 X 8,303 SQ. FT. 3,322.2 SQ. FT.	1,485 SQ. FT. / 0.18	2,265 SQ. FT. / 0.27
MAX. HEIGHT	35 FT.	24.4 FT. / 2 STORY	24.4 FT. / 2 STORY

SITE DESIGN DATA (LOT: 18 & 19)			
AREA CALCULATIONS:	SUBJECT LOT 18	ADJACENT LOT 19	
AREA OF SITE:	8,303 S.F. (0.19 ACRES)	8,711 S.F.	
EXISTING SHED:	122 S.F.	23 S.F.	
EXISTING CELLAR:	652 S.F.	NA	
EXISTING FIRST FLOOR:	484 S.F.	± 1,042 S.F.	
EXISTING SECOND FLOOR:	644 S.F.	NA	
SFA OF BUILDING:	2,265 S.F. / 8,303 = 0.27	NA	
F.A.R.:	0.27 OF SITE @ 0.40 MAX	NA	
PARKING CALCULATIONS:			
EXISTING USE:	RETAIL	RETAIL	
PROPOSED USE:	RESTAURANT, 1 SPACE/100 S.F.	RETAIL, 1 SPACE/50 S.F.	
REQUIRED PARKING:	2,265 S.F. / 100 = 23 SPACES REQ.	1,042 S.F. / 50 = 21 SPACES REQ.	
PROVIDED PARKING:	1 SPACES + 23 SPACES INCLUDING 1 HANDICAP SPACE	1 SPACES + 1 SPACES INCLUDING 1 HANDICAP SPACE	
* RELAXATION OF PARKING SPACES FROM 23 TO 1 SPACES.			
AREA OF PAVING:	9,426 S.F.	± 4,054 S.F.	
BUFFERS:			
REAR AND SIDE YARDS TO HAVE 25 FT. MIN. RESIDENTIAL BUFFERS. FRONT TO HAVE 8 FT. MIN. AT STREET FRONTAGE.			
FRONT (NORTH): 8 FT. MIN.	4.1 FT.	11.5 FT.	
SIDE BUFFER (WEST): 25 FT. MIN.	0 FT.	5.0 FT.	
SIDE BUFFER (EAST): 25 FT. MIN.	4.4 FT.	0 FT.	
REAR BUFFER (SOUTH): 25 FT. MIN.	36.6 FT.	36.1 FT.	
* RELAXATION OF BUFFERS AT SOUTH EAST & WEST.			
LANDSCAPING CALCULATIONS:			
TOTAL AREA OF LANDSCAPING:	2,466 S.F. PROVIDED	2,941 S.F. PROVIDED	
REQUIRED LANDSCAPING:	20% X 8,303 S.F. = 1,661 S.F.	20% X 8,711 S.F. = 1,644 S.F.	
FOLLOWING LANDSCAPE AREAS ARE EXCLUDING BUFFERS:			
AREA OF LANDSCAPING	811 S.F. < 1,661 S.F.	1,030 S.F. < 1,644 S.F.	
REQUIRED FRONT LANDSCAPING	50% X 1,661 S.F. = 830.5 S.F.	50% X 1,644 S.F. = 822 S.F.	
AREA OF FRONT YARD LANDSCAPE:	216 S.F. < 830.5 S.F.	482 S.F. < 822 S.F.	
* RELAXATION FOR TOTAL LANDSCAPING AND FRONT YARD LANDSCAPING.			
PLANTING REQUIREMENTS:			
TREES TO BE PLANTING 20' O.G. ON STREET FRONTAGE		48.01 FT.	
FRONT YARD WIDTH 9' BEHIND PROP. LINE	50.0 FT.	24.1 FT.	
TREES REQUIRED	2 TREES	2 TREES	
TREES PROPOSED	0	0	
* RELAXATION FOR FRONT YARD TREE PLANTINGS.			



The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.

SITE PLAN
 SCALE: 1" = 10'-0"