

PROJECT DATA:

SITE AREA:	
GROSS:	9.81 AC 427,133 SF
BUILDING FOOTPRINT: 121,846 SF	
BUILDING USE:	
WAREHOUSE	115,754 SF
OFFICE @ 5%	6,092 SF
COVERAGE:	
GROSS:	29%
NET:	36%
IMPERVIOUS AREA: 23% 96,961 SF	
PARKING REQUIRED:	
TOTAL	195 STALLS
PARKING PROVIDED:	
AUTO:	108 STALLS @0.89/1000 SF
REQ. ACCESSIBLE	5 STALLS
FUTURE AUTO:	48 STALLS
VANS:	119 STALLS
TRUCK DOCKS:	
DOCK-HIGH DOORS	22
GRADE-LEVEL DOORS	2

DEVELOPMENT STANDARDS:

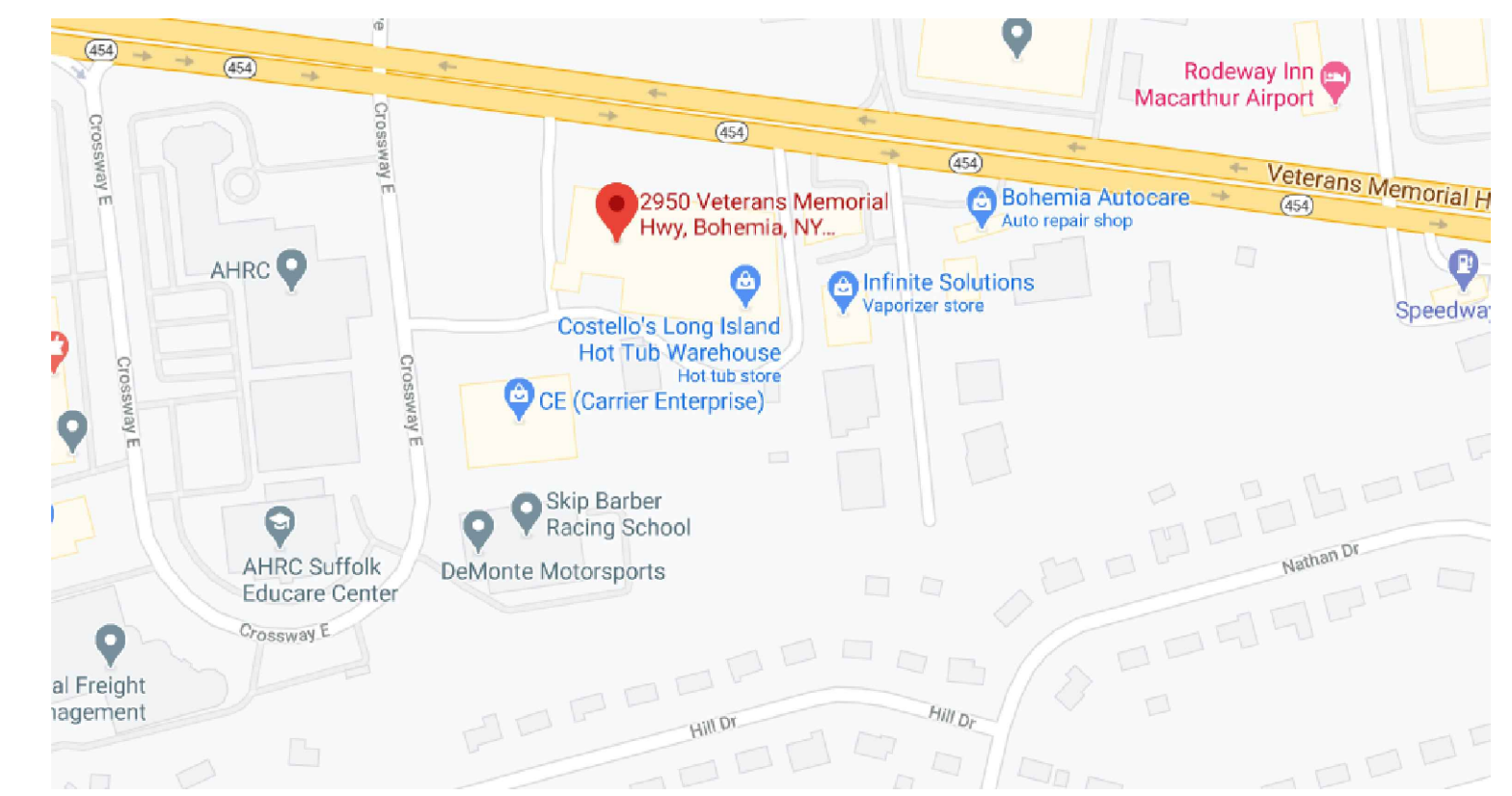
ZONING: ICD	
MAX. F.A.R.:	0.35
MAX. HEIGHT:	60 FT
BUILDING SETBACKS:	
FRONT:	100 FT ¹
SIDE:	25 FT ²
REAR:	25 FT ²
LANDSCAPE SETBACKS:	
FRONT:	SEE NOTE ⁴
SIDE:	5 FT
REAR:	5 FT
LANDSCAPE REQ.: 20% ³	
OFF-STREET PARKING:	
STANDARD:	9x19
DRIVE AISLE:	23 FT
REQ. PARKING RATIO BY USE:	
WAREHOUSE:	1/1000 SF
MANUF:	1/1000 SF
OFFICE:	1/200 SF ⁵

- NOTES:**
- 100 feet from Veterans Memorial Highway, 50 feet from other streets.
 - 50 feet adjacent to residential.
 - Net lot area exclusive of buffers.
 - All buildings, except those listed below, shall have a primary front yard setback of 100 feet along Veterans Memorial Highway and a minimum secondary front yard setback of 50 feet along any other roadways. A minimum of 40 feet of that portion of said yard bordering Veterans Memorial Highway shall be landscaped in accordance with Town of Islip Subdivision and Land Development Regulations. A maximum of 10 feet of this requirement can be located in the Veterans Memorial Highway right-of-way. A minimum of 25 feet of that portion of the front yard bordering streets intersecting Veterans Memorial Highway shall be similarly landscaped.
 - Assuming minimum 15% office area
- 20% REDUCTION IN PARKING REQ. PERMITTED**

This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.

Stormwater Management Design:
ASSUMED UNDERGROUND DETENTION

Boundary Source:
GIS MAP & AERIAL IMAGE



The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.