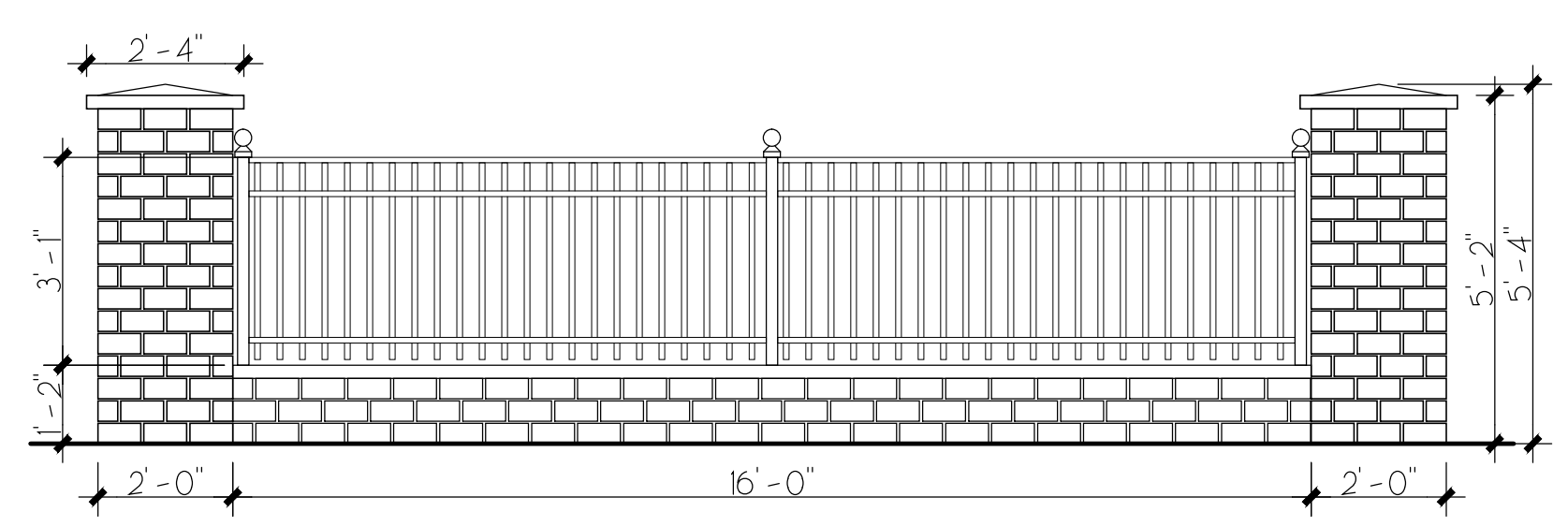


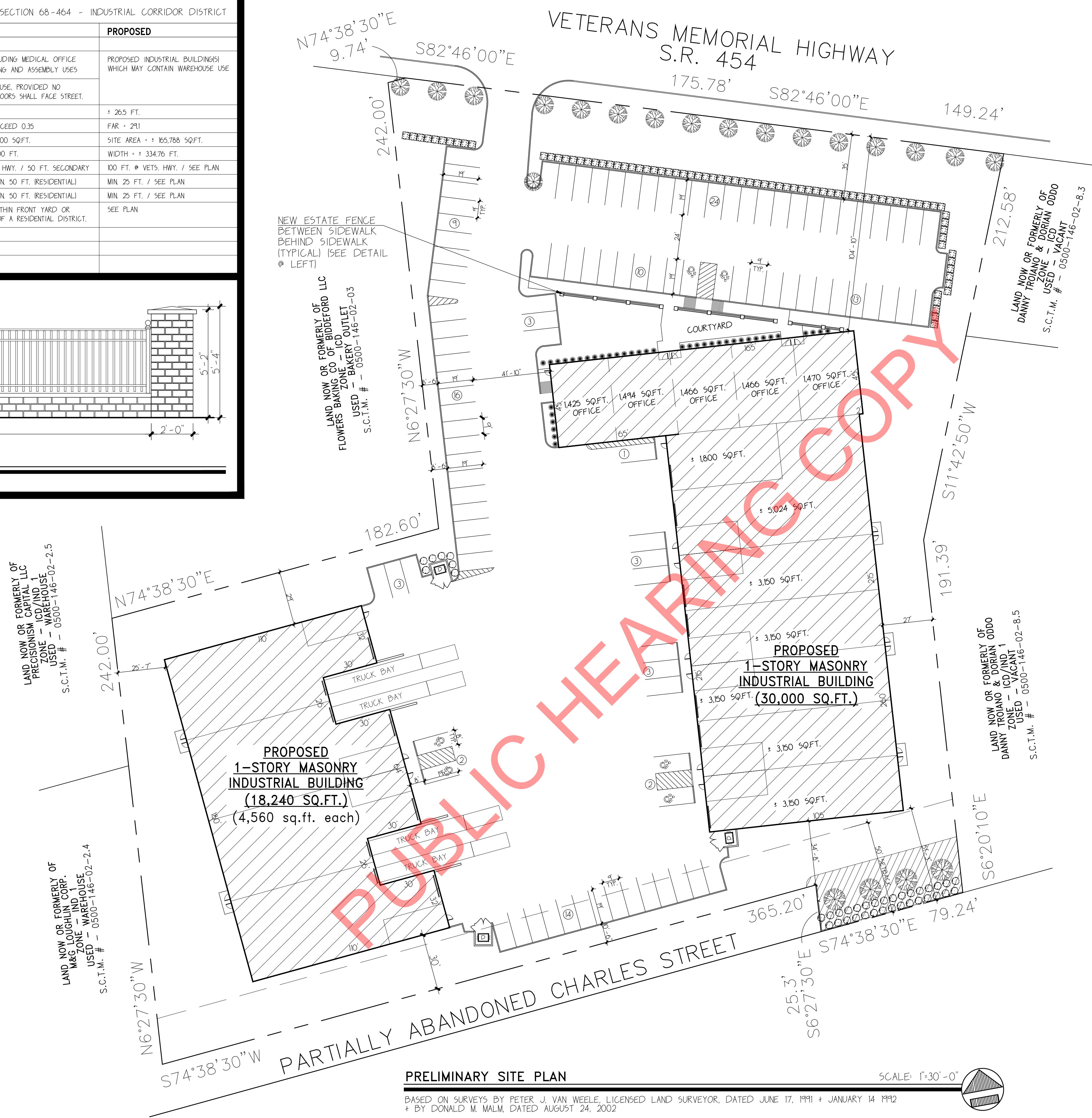
ZONING DATA SECTION 68-464 - INDUSTRIAL CORRIDOR DISTRICT

SECTION	TITLE	REQUIRED	PROPOSED
68-465	PERMITTED USES	(1) OFFICE, INCLUDING MEDICAL OFFICE (2) MANUFACTURING AND ASSEMBLY USES	PROPOSED INDUSTRIAL BUILDINGS WHICH MAY CONTAIN WAREHOUSE USE
68-466.1	SPECIAL PERMIT - PB	(B) WAREHOUSE USE, PROVIDED NO OVERHEAD DOORS SHALL FACE STREET.	
68-468	HEIGHT	60 FT.	± 26.5 FT.
68-469	PERCENTAGE OF LOT	FAR NOT TO EXCEED 0.35	FAR ± 291
68-470	AREA DENSITY	MIN. LOT ± 100,000 SQ.FT.	SITE AREA ± 165,788 SQ.FT.
68-471	WIDTH OF LOT	MIN. WIDTH ± 300 FT.	WIDTH ± 334.76 FT.
68-472	FRONT YARD	100 FT. ± VETS HWY. / 50 FT. SECONDARY	100 FT. ± VETS. HWY. / SEE PLAN
68-473	SIDE YARDS	MIN. 25 FT. / MIN. 50 FT. (RESIDENTIAL)	MIN. 25 FT. / SEE PLAN
68-474	REAR YARD	MIN. 25 FT. / MIN. 50 FT. (RESIDENTIAL)	MIN. 25 FT. / SEE PLAN
68-475	OFF-STREET LOADING	NO LOADING WITHIN FRONT YARD OR WITHIN 100 FT. OF A RESIDENTIAL DISTRICT.	SEE PLAN



ESTATE FENCE DETAIL

FENCE AND POSTS TO BE BLACK METAL

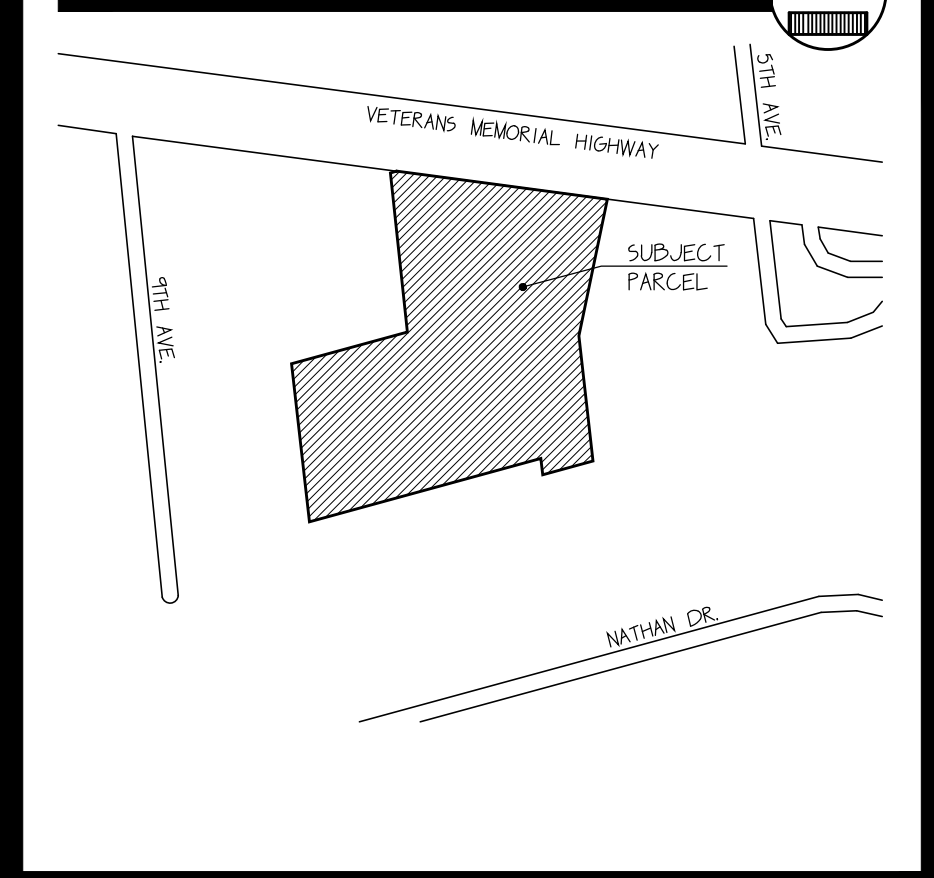


PRELIMINARY SITE PLAN

BASED ON SURVEYS BY PETER J. VAN WEELE, LICENSED LAND SURVEYOR, DATED JUNE 17, 1991 + JANUARY 14 1992
+ BY DONALD M. MALM, DATED AUGUST 24, 2002

SCALE: 1"=30'-0"

KEY MAP



SITE DATA

AREA OF SITE	3.806 ACRES (165,788 SQ.FT.)
EXISTING ZONING	INDUSTRIAL CORRIDOR DISTRICT
INTENDED USE	INDUSTRIAL
PROPOSED BUILDING AREA	
BUILDING #1	30,000 SQ.FT. (11.0)
BUILDING #2	18,240 SQ.FT. (11.0)
TOTAL BUILDING AREA	48,240 SQ.FT. (29.1)
PAVING AREA	66,753 SQ.FT. (40.3)
TOTAL LANDSCAPE AREA	
W/O BUFFER	48,396 SQ.FT. (29.2)
W/ BUFFER	50,795 SQ.FT. (30.6)
FRONT YARD LANDSCAPE AREA	16,826 SQ.FT. (10.2)

SITE DATA W/ ROAD ABANDONMENT

AREA OF SITE	4.02 ACRES (175,002 SQ.FT.)
EXISTING ZONING	INDUSTRIAL CORRIDOR DISTRICT
INTENDED USE	INDUSTRIAL
PROPOSED BUILDING AREA	
BUILDING #1	30,000 SQ.FT. (11.0)
BUILDING #2	18,240 SQ.FT. (9.9)
TOTAL BUILDING AREA	48,240 SQ.FT. (27.6)
PAVING AREA	66,753 SQ.FT. (38.1)
TOTAL LANDSCAPE AREA	
W/O BUFFER	48,396 SQ.FT. (27.7)
W/ BUFFER	60,009 SQ.FT. (34.3)
FRONT YARD LANDSCAPE AREA	16,826 SQ.FT. (9.6)

PARKING

PARKING REQUIRED	
OFFICE ± 11,890 / 200 ±	59.4 SPACES
WAREHOUSE ± 36,350 / 1000 ±	36.4 SPACES
PARKING REQUIRED ±	95.8 SPACES
PARKING PROVIDED ±	103 CAR SPACES (INCLUDING 6 HC. SPACES)

SANITARY CALC.

DENSITY CALCULATION	
OFFICE ± 11,890 SF. X .06 GPD/SF. ±	713.4 GPD
INDUSTRIAL ± 36,350 SF. X .04 GPD/SF. ±	1,454.0 GPD
REQUIRED DENSITY ±	2,167.4 GPD
ALLOWABLE DENSITY	
3.806 ACRES X 600 G.P.D./ACRE ±	2,283.6 GPD
ACTUAL DENSITY	
2,167.4 < 2,283.6 ∴ OK	

REVISION	DATE

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.

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FILE NO. 20061
DATE 02/23/21
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SK1