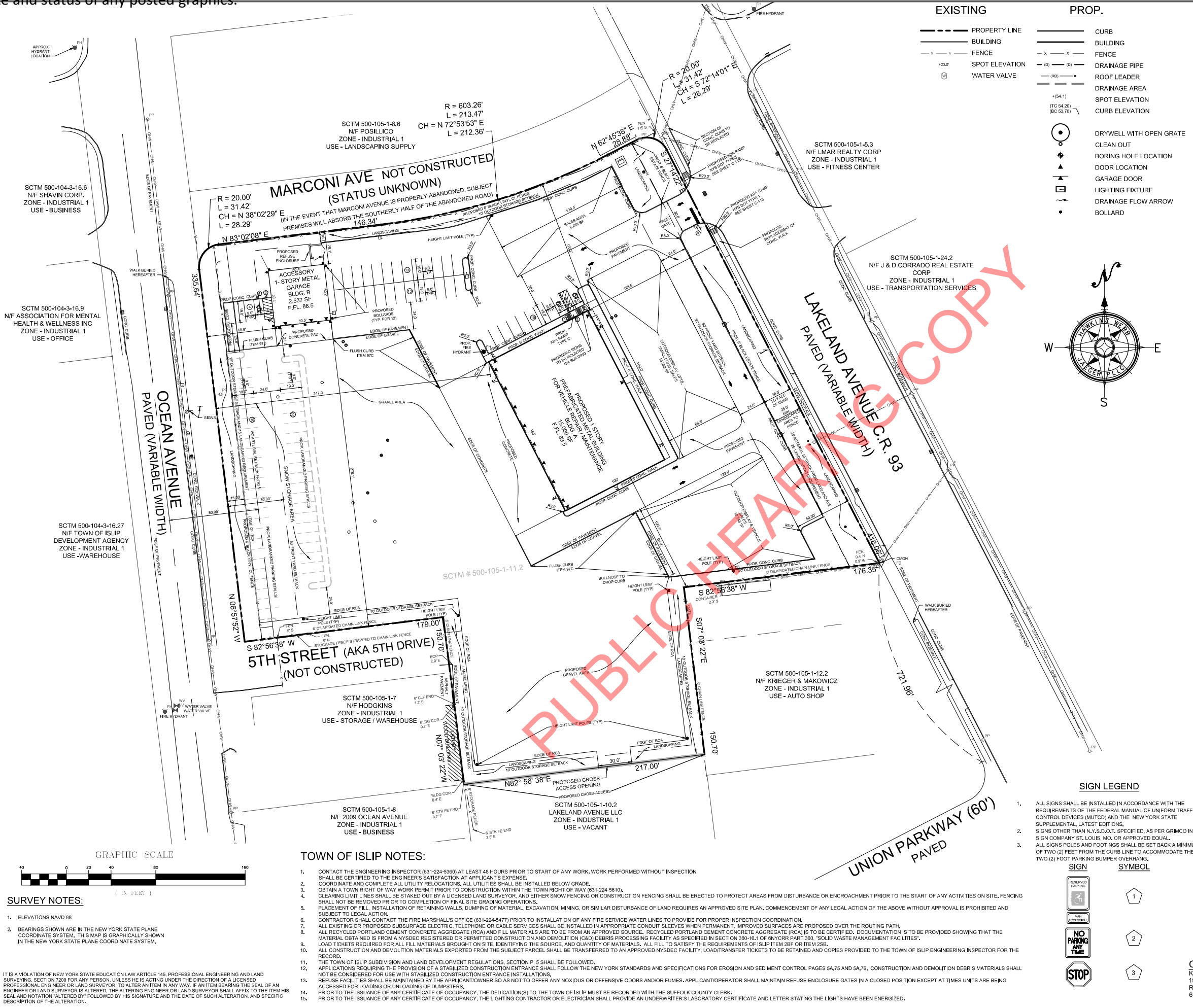
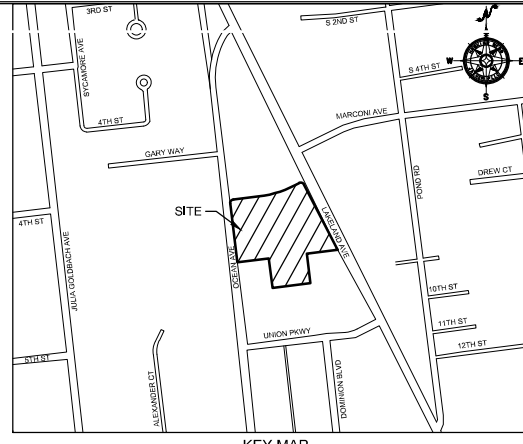


The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.



EXISTING	PROP.
PROPERTY LINE	CURB
BUILDING	BUILDING
FENCE	FENCE
SPOT ELEVATION	DRAINAGE PIPE
WATER VALVE	ROOF LEADER
	DRAINAGE AREA
	SPOT ELEVATION
	CURB ELEVATION
	DRYWELL WITH OPEN GRATE
	CLEAN OUT
	BORING HOLE LOCATION
	DOOR LOCATION
	GARAGE DOOR
	LIGHTING FIXTURE
	DRAINAGE FLOW ARROW
	BOLLARD



SITE DATA

LOT AREA: 217,793 SF (5.0 ACRES)
 DIST. 0500, SECT. 105, BLOCK. 01, LOT 11.2
 SCTM#:
 SCHOOL DISTRICT: CONNETQUOT UFSD
 FIRE DISTRICT: LAKELAND (837)
 WATER DISTRICT: SCWA
 POST OFFICE: 11779
 EXISTING ZONING: BUSINESS 3 DISTRICT
 PROPOSED ZONING: BUSINESS 3 DISTRICT
 PERMITTED USE: OUTDOOR STORAGE OF STORAGE TRAILERS AND REGISTERED TRUCKS

ZONING REQUIREMENTS: BUSINESS 3 DISTRICT
 TC 5277 - EFFECTIVE DATE 3-11-2018

	REQUIRED	PROVIDED
FRONT YARD	25'	123.0'
REAR YARD	15'	-
SIDE YARD	10'	120.2' / 109.4'
BUILDING HEIGHT	35'	28.5'
FLOOR AREA RATIO (TOTAL)	25%	8.05%
MIN. LOT AREA	20,000 SF	217,793 SF
LOT WIDTH	100'	355.61'
OUTDOOR STORAGE HEIGHT	14'	14'

	REQUIRED	PROVIDED
FRONT YARD	35'	60.9'
REAR YARD	15'	N/A - THROUGH LOT
SIDE YARD (MIN. / AVG. BOTH)	10'	29.1' / 305.2'
BUILDING HEIGHT	18'	18' ASSUMED
MAX. COVERAGE AREA OF REAR YARD	25%	N/A - THROUGH LOT

PARKING REQUIREMENTS

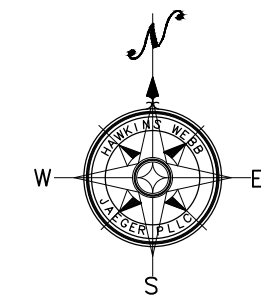
REQUIRED	PROVIDED
VEHICLE REPAIR / MAINTENANCE: 15,000 SF x 1/200 = 75	75 STALLS
REPAIR GARAGE: 2,537 SF x 1/200 = 12.7	13 STALLS
	88 STALLS REQUIRED

PROVIDED
 40 STALLS (INCLUDING 2 HANDICAP STALL)
 48 LANDBANKED STALLS
 TRUCK SALES AREA

LANDSCAPING REQUIREMENTS

	REQUIRED	PROVIDED
MIN. LANDSCAPED AREA (RELAXATION GRANTED)**	20%	16.87%*
MIN. FRONT YARD LANDSCAPING	16%	16.87%
STREET FRONTAGE LANDSCAPING DEPTH**	8% (HALF OF REQ'D)	10.94%
STREET TREES	25'	25'-LAKELAND, 15'-OCEAN
LANDSCAPING BUFFER	20' O.C.	20' O.C.
PROPERTY LINE TO PARKING MIN. WIDTH	25'	25'
IRRIGATION	5'	9.6' MIN.
TREE/LANDSCAPING ISLANDS IN PARKING	REQUIRED 6' WIDTH	PROVIDED 6' MIN.

* LANDSCAPING RELAXATION GRANTED FROM 20% TO 16% OF THE TOTAL SITE AREA AS PER T.C. 5277 CHANGE OF ZONE RESOLUTION, (7-27-2017).
 ** FRONT YARD LANDSCAPING RELAXATION GRANTED - MINIMUM OF 25' REQUIRED ALONG LAKELAND AVENUE AND 15' REQUIRED ALONG OCEAN AVENUE AS PER T.C. 5277 CHANGE OF ZONE RESOLUTION, (7-27-2017).



SIGN LEGEND

- ALL SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FEDERAL MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE NEW YORK STATE SUPPLEMENTAL LATEST EDITIONS.
 - SIGNS OTHER THAN N.Y.S.D.O.T. SPECIFIED, AS PER GRIMCO INC. SIGN COMPANY ST. LOUIS, MO, OR APPROVED EQUAL.
 - ALL SIGNS POLES AND FOOTINGS SHALL BE SET BACK A MINIMUM OF TWO (2) FEET FROM THE CURB LINE TO ACCOMMODATE THE TWO (2) FOOT PARKING BUMPER OVERHANG.
- | SIGN | SYMBOL |
|------------------------|--------|
| RESERVED PARKING | 1 |
| NO PARKING AT ANY TIME | 2 |
| STOP | 3 |

TOWN OF ISLIP NOTES:

- CONTACT THE ENGINEERING INSPECTOR (631-224-5360) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK, WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE.
- COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS. ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.
- OBTAIN A TOWN RIGHT OF WAY PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT OF WAY (631-224-5610).
- CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE, FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.
- PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN, COMMENCEMENT OF ANY LEGAL ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.
- CONTRACTOR SHALL CONTACT THE FIRE MARSHALL'S OFFICE (631-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.
- ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT. IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.
- ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) IS TO BE CERTIFIED. DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDDEC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (CAD) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF ANYCRR PART 360, "SOLID WASTE MANAGEMENT FACILITIES".
- LOAD TICKETS REQUIRED FOR ALL FILL MATERIALS BROUGHT ON SITE, IDENTIFYING THE SOURCE, AND QUANTITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 28F OR ITEM 28B.
- ALL CONSTRUCTION AND DEMOLITION MATERIALS EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED NYSDDEC FACILITY. LOAD/TREASURY TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.
- THE TOWN OF ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P, 5 SHALL BE FOLLOWED.
- APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE SHALL FOLLOW THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL PAGES 5A,75 AND 5A,76. CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL NOT BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.
- REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES. APPLICANT/OPERATOR SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES UNITS ARE BEING ACCESSED FOR LOADING OR UNLOADING OF DUMPSTERS.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATION(S) TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AN UNDERWRITER'S LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.

SURVEY NOTES:

- ELEVATIONS NAVD 88
- BEARINGS SHOWN ARE IN THE NEW YORK STATE PLANE COORDINATE SYSTEM. THIS MAP IS GRAPHICALLY SHOWN IN THE NEW YORK STATE PLANE COORDINATE SYSTEM.

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, PROFESSIONAL ENGINEERING AND LAND SURVEYING, SECTION 7209 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND NOTATION ALTERED BY FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND SPECIFIC DESCRIPTION OF THE ALTERATION.

HAWKINS WEBB JAEGER
 ARCHITECTS • ENGINEERS • SURVEYORS • PLANNERS

600 WALT WHITMAN RD
 MELVILLE, NY 11747
 P: 631-758-7777 F: 631-758-7768



HAWKINS WEBB JAEGER PLLC

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PROJECT: CASSONE LEASING LAKELAND AVENUE ISLIP, NY 11779

DRAWING NAME: ALIGNMENT PLAN FOR KUNZ FAMILY LIMITED PARTNERSHIP

SCTM: 500 - 105 - 1 - 11.2

REVISIONS:

#	DATE	COMMENT
1	4-7-17	LOT CONFIGURATION
2	8-7-17	ENGINEERING COMMENTS
3	8-29-18	ENGINEERING COMMENTS
4	9-30-20	REVISED LAYOUT
5	9-30-20	ENGINEERING COMMENTS
6	10-19-20	REVISED LAYOUT

ISSUE

#	DATE	COMMENT
1	02-14-21	COLORS ELEVATIONS
2	03-22-21	COLORS ELEVATIONS

PROJECT No. H13X169

DATE: _____

DRAWN BY: KWH

CKD. BY: SJR

SCALE: 1" = 40'

C-101

PROPERTY INFORMATION SP2020-044

SUFFOLK COUNTY TAX MAP NUMBER 0500 - 105 - 01 - 11.2

DISTRICT/SECTION/BLOCK/LOT

SITE DATA

ITEM	AMOUNT	%
PLOT SIZE	5,000 Ac	217,793 SF
FRONTAGE	751.7 FT	(CONSTRUCTED RD)
BUILDING AREA	17,537 SF	8.05%
PAVEMENT GRAVEL AREA	163,523 SF	75.05%
FRONT YARD LANDSCAPING	23,816 SF	10.94%
TOTAL LANDSCAPING	36,733 SF	16.87%
UNDEVELOPED AREA	0 SF	

OWNER/APPLICANT
 KUNZ FAMILY LTD
 1950 LAKELAND AVE.
 RONKONKOMA, NY 11779
 631-585-7800