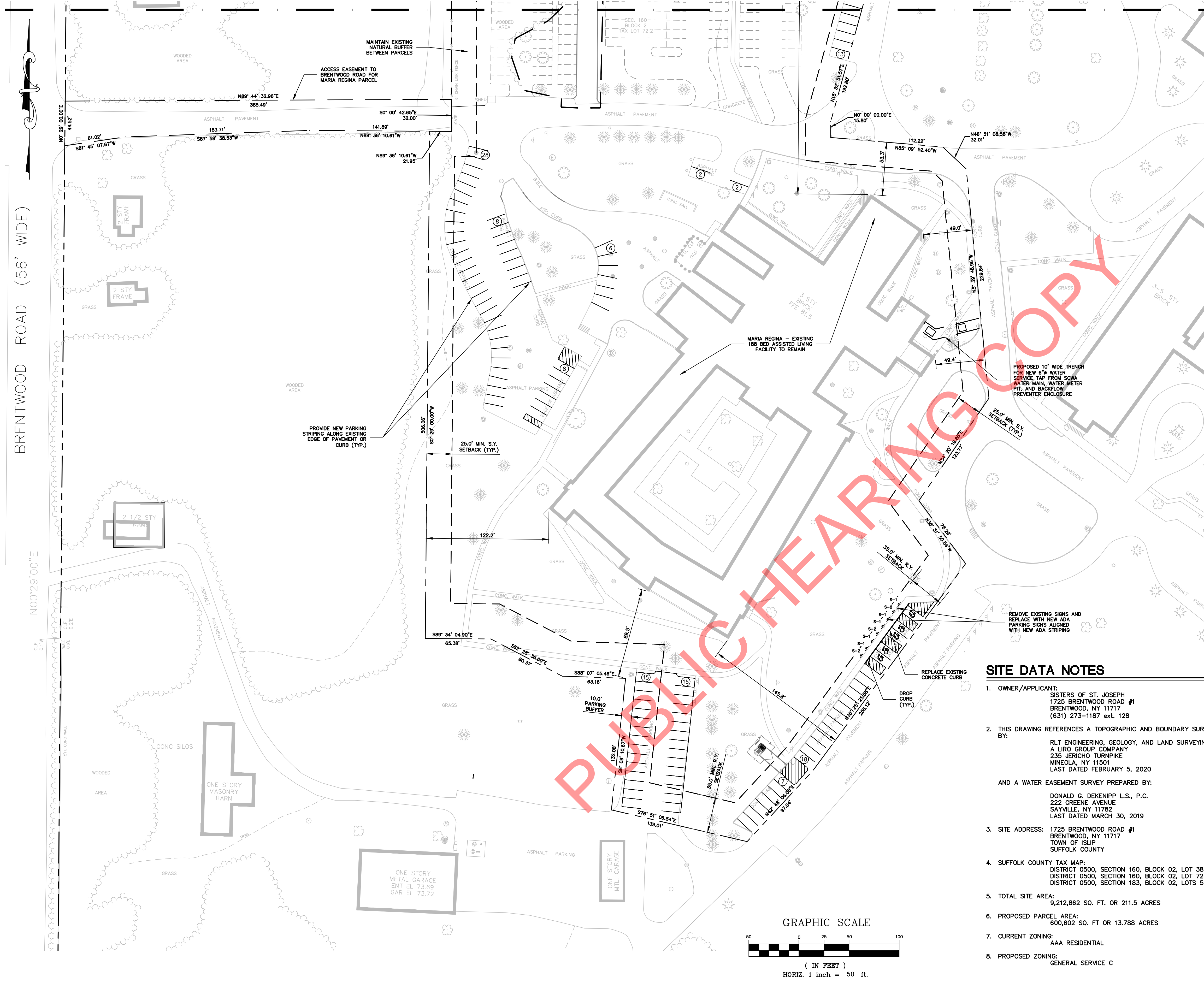


MATCH LINE TO SHEET C-101



TOWN OF ISLIP SITE PLAN NOTES

- CONTACT THE ENGINEERING INSPECTOR (631-224-5360) AT LEAST 48 HOURS
- PRIOR TO START OF ANY WORK, WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE TOWN ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE.
- COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS. ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.
- OBTAIN A TOWN RIGHT-OF-WAY WORK PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT-OF-WAY (631-224-5610)
- CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.
- PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN. COMMENCEMENT OF ANY LEGAL ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.
- CONTRACTOR SHALL CONTACT THE FIRE MARSHAL'S OFFICE (631-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION AND COORDINATION.
- ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT, IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.
- ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE IS TO BE CERTIFIED. DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDEC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF ENYCORR PART 360, "SOLID WASTE MANAGEMENT FACILITIES"
- LOAD TICKETS REQUIRED FOR ALL FILL MATERIALS BROUGHT ON SITE, IDENTIFYING THE SOURCE AND QUANTITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 28F OR ITEM 25B.
- ALL CONSTRUCTION & DEMOLITION MATERIAL EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED NYSDEC FACILITY, LOAD/TRANSFER TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.
- THE TOWN OF ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P, 5 SHALL BE FOLLOWED.
- APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE SHALL FOLLOW THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL PAGES 5A.75 AND 5A.76. CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL NOT BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.
- REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES. APPLICANT/ OPERATOR SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES UNITS ARE BEING ACCESS FOR LOADING OR UNLOADING OF DUMPSTER.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATION(S) TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AN UNDERWRITER'S LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.

TRAFFIC & PARKING SIGNAGE SCHEDULE

SIGN SYMBOL	SIGN	MUTCD	LEGEND	SIZE	QUANTITY	MOUNTING HEIGHT
S-1		R7-8 R7-8P	RESERVED PARKING (HANDICAP SYMBOL)	12"x18" 9"x18"	8	7'-0"
S-2		R8-3	NO PARKING	12"x18"	7	7'-0"

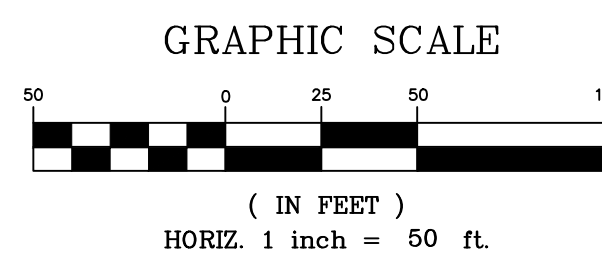
- NOTES:
 1. MOUNTING HEIGHT MEASURED FROM FINISHED GRADE OF WALKING SURFACE OR TOP OF CURB TO BOTTOM OF LARGEST SIGN.
 2. CONTRACTOR TO PROVIDE PRODUCT SUBMITTAL OF ALL SIGNS TO OWNER'S REPRESENTATIVE.

BULK ZONING REQUIREMENTS

ITEM	MAX / MIN. REQUIRED	PROVIDED
MAIN BUILDING - MARIA REGINA ASSISTED LIVING FACILITY		
HEIGHT	35' / 2 STORIES	3 STORIES
MIN. LOT AREA	30,000 SF	600,602 SF
LOT WIDTH	150'	150'
S.Y. SETBACK	25'	49.0'
R.Y. SETBACK	35'	89.5'
F.Y. SETBACK	40'	98.3'
LOT COVERAGE F.A.R.	0.4	MAIN BLDG. GFA: 55,719 SF AQUAPoint BLDG. GFA: 750 SF TOTAL GFA: 56,469 SF F.A.R.: 56,469/600,602 = 0.094
ACCESSORY BUILDING - AQUAPoint I/A TREATMENT FACILITY BUILDING		
STRUCTURE HEIGHT	18'	12'
S.Y. SETBACK	50'	150.6'
R.Y. SETBACK	10'	±96.0'
F.Y. SETBACK	80'	±82.6'

SITE DATA NOTES

- OWNER/APPLICANT:
SISTERS OF ST. JOSEPH
1725 BRENTWOOD ROAD #1
BRENTWOOD, NY 11717
(631) 273-1187 ext. 128
- THIS DRAWING REFERENCES A TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY:
RLT ENGINEERING, GEOLOGY, AND LAND SURVEYING P.C.
A LIRO GROUP COMPANY
235 JERICHO TURNPIKE
MINEOLA, NY 11501
LAST DATED FEBRUARY 5, 2020
AND A WATER EASEMENT SURVEY PREPARED BY:
DONALD G. DEKENIPP L.S., P.C.
222 GREENE AVENUE
SAYVILLE, NY 11782
LAST DATED MARCH 30, 2019
- SITE ADDRESS: 1725 BRENTWOOD ROAD #1
BRENTWOOD, NY 11717
TOWN OF ISLIP
SUFFOLK COUNTY
- SUFFOLK COUNTY TAX MAP:
DISTRICT 0500, SECTION 160, BLOCK 02, LOT 38
DISTRICT 0500, SECTION 160, BLOCK 02, LOT 72.2, 73
DISTRICT 0500, SECTION 163, BLOCK 02, LOTS 50.3, 51, & 53.1
- TOTAL SITE AREA:
9,212,862 SQ. FT. OR 211.5 ACRES
- PROPOSED PARCEL AREA:
600,602 SQ. FT OR 13.788 ACRES
- CURRENT ZONING:
AAA RESIDENTIAL
- PROPOSED ZONING:
GENERAL SERVICE C



PARKING CALCULATIONS

USE:
NURSING HOME

PARKING SPACES
 REQUIRED:
 1 SPACE PER BED
 1 SPACE PER EVERY 2 STAFF ON MAX. SHIFT
 188 BEDS + 1 SPACE/BED = 188 SPACES
 200 STAFF * 0.5 SPACE/STAFF = 100 SPACES
 TOTAL SPACES REQUIRED = 288 SPACES

PROVIDED:
 122 EXISTING SPACES
 166 LANDBANKED SPACES
 288 TOTAL SPACES

HANDICAP ACCESSIBLE SPACES
 REQUIRED:
 122 SPACES PROVIDED
 ADA SPACES REQUIRED = 5 ADA SPACES PER IBC TABLE 1106.1
 PROVIDED: 5 ADA SPACES

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.

NO.	DATE	REVISION DESCRIPTION	INT.

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 T: (212) 334-8000
 T: (914) 721-8300
 COPYRIGHT

PROJECT NAME:
MARIA REGINA RESIDENCE SUBDIVISION

PROJECT LOCATION:
**1725 BRENTWOOD ROAD
BRENTWOOD, NY 11717**

TITLE:
SITE PLAN

DISCIPLINE:
CIVIL

PROJECT ENGINEER:
JDB

DESIGNED BY:
JDB

DRAWN BY:
LMB

CHECKED BY:
AJK

PROJECT NO.:
CE2865

JOB NO.:
CE####

DATE:
5/6/2020

SCALE:
AS SHOWN

DRAWING NO.:
C-100

DRAWING
1 of 8

PLOT SCALE: V=2865 - Maria Regina Residence\DESIGN\C-100 SITE PLAN.DWG, Date: August 14, 2020, P=14:00, Plot by: D:\User Chem