

**DESIGN CRITERIA**  
PROVIDE STORAGE FOR RUNOFF FROM A 2" STORM  
USE: 12" DIA. DRYWELLS, VOLUME = 100.88 CF/VF

PAVEMENT	(C=1.0)
ROOF	(C=1.0)
LANDSCAPED	(C=0.15)

## TRIBUTARY AREA '1'

<u>SURFACE</u>	<u>AREA</u>	<u>C</u>	<u>STORM</u>	<u>VOLUME</u>
PAVEMENT	141,053 SF	x 1.0	x 2/12 =	23,509 CF
ROOF	52,416 SF	x 1.0	x 2/12 =	8,736 CF
LANDSCAPED	89,676 SF	x 0.15	x 2/12 =	2,242 CF
TOTAL VOLUME REQUIRED =				34,487 CF
VERTICAL FEET REQUIRED	34,487 /	100.88 =	341.86 VF	

USE: 29 DRYWELLS (12' DIA.) @ 12' EFFECTIVE DEPTH  
VOLUME PROVIDED ( 29 x 100.88 x 12' ) = 35,106 CF (> 34,487 CF REQ'D)

1. INSPECT THE SITE PRIOR TO SUBMISSION OF BIDS AND MAKE NO ADDITIONAL CLAIMS REGARDING SITE CONDITIONS THEREAFTER.
2. NOTIFY THE OWNER AND HQM (TELEPHONE 531-756-8000) AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF THE WORK. THE SAME NOTICE SHALL BE REQUIRED WHEN RESUMING WORK AFTER ANY STOPPAGE OR DELAY.
3. COMPLETE ALL SURVEY AND STAKEOUT AS REQUIRED TO PROPERLY COMPLETE THE WORK.
4. PERFORM DAILY CLEANUP OPERATIONS INCLUDING REMOVAL OF DEBRIS AND EXCESS CONSTRUCTION MATERIAL, AND DRIVEWAY/STREET CLEANING TO THE SATISFACTION OF THE OWNER.
5. DURING ALL NON-WORKING HOURS, STORE ALL EQUIPMENT AND MATERIALS WITHIN AN AREA DESIGNATED BY THE OWNER AT THE PROJECT SITE.
6. ALL CURB DIMENSIONS SHOWN REFER TO THE FACE OF CURB.
7. ALL CONSTRUCTION TO CONFORM WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODE REQUIREMENTS.
8. COORDINATE CONSTRUCTION ACTIVITIES WITH OWNER TO MINIMIZE INTERRUPTION TO THE OWNERS OPERATIONS.
9. RESTORE SURROUNDING AREAS DAMAGED OR DISTURBED DURING CONSTRUCTION. RESTORE TO NEW CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
10. RESTORE ALL DISTURBED GRASS AREAS AND ALL AREAS NOT SPECIFICALLY IDENTIFIED FOR OTHER IMPROVEMENTS WITH 6 INCHES OF TOPSOIL AND SEED.
11. REMOVE ALL ASPHALT FROM EXISTING CASTINGS.
12. SEAL ALL JOINTS BETWEEN NEW ASPHALT AND EXISTING ASPHALT WITH HOT ASPHALT CEMENT.

1. NEW DRAINAGE SYSTEMS SHALL CONFORM TO THE SIZING AND DESIGN CRITERIA OF THE TOWN OF ISLIP AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION STORMWATER DESIGN MANUAL.
2. ALL 12" DRYWELLS ARE TO HAVE A MINIMUM 12' SEPARATION BETWEEN ADJACENT DRYWELLS.

## NEW EVERGREEN SWIRL

## DECIDUOUS T

## SITE DATA

**SITE AREA:**

ITEM	MAXIMUM STRUCTURE HEIGHT
1. Single-story building	10 m
2. Two-story building	15 m
3. Three-story building	20 m
4. Four-story building	25 m
5. Five-story building	30 m
6. Six-story building	35 m
7. Seven-story building	40 m
8. Eight-story building	45 m
9. Nine-story building	50 m
10. Ten-story building	55 m
11. Eleven-story building	60 m
12. Twelve-story building	65 m
13. Thirteen-story building	70 m
14. Fourteen-story building	75 m
15. Fifteen-story building	80 m
16. Sixteen-story building	85 m
17. Seventeen-story building	90 m
18. Eighteen-story building	95 m
19. Nineteen-story building	100 m
20. Twenty-story building	105 m
21. Twenty-one-story building	110 m
22. Twenty-two-story building	115 m
23. Twenty-three-story building	120 m
24. Twenty-four-story building	125 m
25. Twenty-five-story building	130 m
26. Twenty-six-story building	135 m
27. Twenty-seven-story building	140 m
28. Twenty-eight-story building	145 m
29. Twenty-nine-story building	150 m
30. Thirty-story building	155 m
31. Thirty-one-story building	160 m
32. Thirty-two-story building	165 m
33. Thirty-three-story building	170 m
34. Thirty-four-story building	175 m
35. Thirty-five-story building	180 m
36. Thirty-six-story building	185 m
37. Thirty-seven-story building	190 m
38. Thirty-eight-story building	195 m
39. Thirty-nine-story building	200 m
40. Forty-story building	205 m
41. Forty-one-story building	210 m
42. Forty-two-story building	215 m
43. Forty-three-story building	220 m
44. Forty-four-story building	225 m
45. Forty-five-story building	230 m
46. Forty-six-story building	235 m
47. Forty-seven-story building	240 m
48. Forty-eight-story building	245 m
49. Forty-nine-story building	250 m
50. Fifty-story building	255 m
51. Fifty-one-story building	260 m
52. Fifty-two-story building	265 m
53. Fifty-three-story building	270 m
54. Fifty-four-story building	275 m
55. Fifty-five-story building	280 m
56. Fifty-six-story building	285 m
57. Fifty-seven-story building	290 m
58. Fifty-eight-story building	295 m
59. Fifty-nine-story building	300 m
60. Sixty-story building	305 m
61. Sixty-one-story building	310 m
62. Sixty-two-story building	315 m
63. Sixty-three-story building	320 m
64. Sixty-four-story building	325 m
65. Sixty-five-story building	330 m
66. Sixty-six-story building	335 m
67. Sixty-seven-story building	340 m
68. Sixty-eight-story building	345 m
69. Sixty-nine-story building	350 m
70. Seventy-story building	355 m
71. Seventy-one-story building	360 m
72. Seventy-two-story building	365 m
73. Seventy-three-story building	370 m
74. Seventy-four-story building	375 m
75. Seventy-five-story building	380 m
76. Seventy-six-story building	385 m
77. Seventy-seven-story building	390 m
78. Seventy-eight-story building	395 m
79. Seventy-nine-story building	400 m
80. Eighty-story building	405 m
81. Eighty-one-story building	410 m
82. Eighty-two-story building	415 m
83. Eighty-three-story building	420 m
84. Eighty-four-story building	425 m
85. Eighty-five-story building	430 m
86. Eighty-six-story building	435 m
87. Eighty-seven-story building	440 m
88. Eighty-eight-story building	445 m
89. Eighty-nine-story building	450 m
90. Ninety-story building	455 m
91. Ninety-one-story building	460 m
92. Ninety-two-story building	465 m
93. Ninety-three-story building	470 m
94. Ninety-four-story building	475 m
95. Ninety-five-story building	480 m
96. Ninety-six-story building	485 m
97. Ninety-seven-story building	490 m
98. Ninety-eight-story building	495 m
99. Ninety-nine-story building	500 m
100. One hundred-story building	505 m

MAXIMUM FAR	0.35	0.19
MINIMUM LOT AREA	20,000 SF	285,144 SF
MINIMUM LOT WIDTH	100 FT	440.79 FT
MINIMUM FRONT YARD 1	50 FT	50.00 FT
MINIMUM FRONT YARD 2	25 FT	25.00 FT
MINIMUM SIDE YARD	50 FT	50.00 FT
MINIMUM REAR YARD	25 FT	25.00 FT
MINIMUM LANDSCAPE AREA	20%	32.0%
MINIMUM LANDSCAPE AREA IN FRONT YARD	10%	14.4%
MINIMUM LANDSCAPING ALONG STREET FRONTAGE	25 FT	25 FT
MINIMUM STREET TREES ALONG STREET FRONTAGE	20 FT O.C.	20 FT O.C.
MINIMUM BESS SETBACK TO VEGETATION	10 FT	10 FT
MAXIMUM FENCE/WALL HEIGHT	8 FT	12 FT
SUBSTATION LIGHTNING MAST		


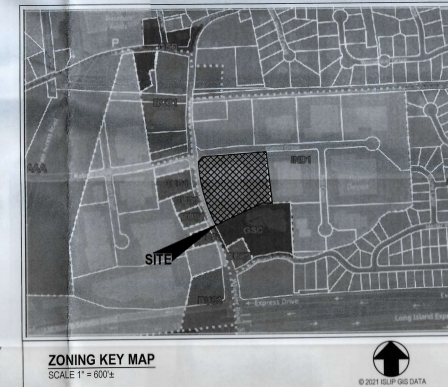
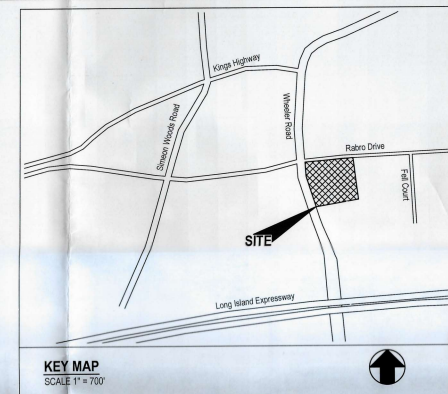
THERE IS NO PARKING REQUIREMENT FOR THIS USE CATEGORY

NEW BATTERY ENERGY STORAGE SYSTEM (BESS) UNITS (276 UNITS x 168 SF EACH)  
NEW TRANSFORMER & INVERTER CONTAINER UNIT (26 UNITS x 160 SF EACH)

NEW BATTERY ENERGY STORAGE SYSTEM (BESS) UNITS (276 UNITS x 168 SF EACH)	46,368 SF LOT COVERAGE
NEW TRANSFORMER & INVERTER CONTAINER UNIT (35 UNITS x 160 SF EACH)	5,600 SF LOT COVERAGE
NEW SUBSTATION CONTROL BUILDING	448 SF LOT COVERAGE
TOTAL LOT COVERAGE	52,416 SF (18.5% CF LOT AREA)

1. PARCEL AREA IS 283,144.82 S.F. OR 6.50 ACRES
2. SURVEY PREPARED BY H2M ARCHITECTS + ENGINEERS. DATED 12/23/20.
3. ELEVATIONS REFER TO N.A.V.D. 1988.
4. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A COMPLETE TITLE REPORT

1. CONTACT THE ENGINEERING INSPECTOR (331-224-6360) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK. WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE TOWN ENGINEER'S SATISFACTION AND APPLICANT'S EXPENSE.
2. COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS. ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.
3. OBTAIN A TOWN RIGHT-OF-WAY WORK PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT-OF-WAY (331-224-6610).
4. CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENDING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.
5. PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN. COMMENCEMENT OF ANY LEGAL ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.
6. CONTRACTOR SHALL CONTACT THE FIRE MARSHALL'S OFFICE (331-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.
7. ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT, IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.
8. ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE IS TO BE RECYCLED. DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360.1.5 OF ENVIRONMENT PART 360, "SOLID WASTE MANAGEMENT FACILITIES".
9. LOAD TICKETS REQUIRED FOR ALL FILL MATERIALS BROUGHT ON SITE IDENTIFYING THE SOURCE AND QUALITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF G.S.P. ITEM 22F OR ITEM 22B.
10. ALL CONSTRUCTION AND DEMOLITION MATERIAL EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED NYSDC FACILITY. LOAD/TIRING TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.
11. THE TOWN OF ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P, 5 SHALL BE FOLLOWED.
12. APPLICATIONS REQUESTING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE SHALL FOLLOW THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PAGES 5.4.75 AND 5.4.76. CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL NOT BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.



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"ALTERATION OF THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL IS ILLEGAL"			
DESIGNED BY <b>JMT</b>	DRAWN BY <b>JMT</b>	CHECKED BY <b>BJM</b>	REVIEWED BY <b>RJR</b>
PROJECT No: <b>KCEG 2005</b>	DATE <b>OCTOBER 2022</b>	SCALE: <b>1" = 30'</b>	

**KCE NY 29, LLC**

**KCE NY 29 Battery Energy  
Storage Facility**



S/E Corner of Wheeler Road &  
Rabro Drive  
Hauppauge, NY 11788

## ABSTRACT

REGULATORY REVIEW

ET TITLE

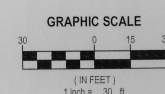
SPECIAL PERMIT SITE PLAN

WING No. **C 100.00**

APPLICANT:

KCE NY 29, LLC  
25 MONROE STREET, SUITE 300  
ALBANY, NY 12210  
(303) 944-3324

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.



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