TOWN OF ISLIP NOTES

- Contact the engineering Inspector (631.224.5360) at least 24 hours prior to start of any work. Work performed without inspection shall be certifie to the Town Engineer's satisfaction at applicant's expense.
- oordinate and complete all utility relocations. All utilities shall be

GENERAL NOTES

- Prior to all activities, the contractor shall inspect and correlate all documents prepared for the project, the existing current conditions of the site and all applicable jurisdictional requirements. Any clarifications necessary shall be requested in writing to the Engineer
- All necessary precautions to protect the general public, R.O.W.s, adjacent property, site elements to remain, employees, etc., are the responsibility of the contractor including safety programs, procedures, fencing, raffic control, sginnig, etc. Should any of the above be damaged, the contractor shall repair/replace them at this own expense. All work shall be performed in accordance with OSHA and all other applicable control.

- Maintenance and protection of traffic is the responsibility of the contractor. Any and all measures necessary to ensure safe vehicular and pedestrian traffic during and after construction shall be provided by the contractor, including but not limited to pavement markings, signage, barrels, lights, guidenials, etc. Such methods and means shall be in accordance with the NYSOT-MUTCD.
- Methods and materials of construction shall conform to the standards and specification

CROSS ACCESS WITH ADJACENT PARCEL (SCTM#: 500-213-4-1.1)

- 15. HVAC and associated equipment shall be installed on the building roof.

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted

graphics.

PARKING SUMMARY

 $\begin{array}{l} \hline \textbf{Required Parking Stalls:} \\ \hline \textbf{Total Building Area:157,530 SF} \\ \hline \textbf{Warchouse: } 133,900.5 \ SF (85\%) \ x \frac{1}{100} \ SF = 134 \ Stalls \\ \hline \textbf{Office: } 23,629.5 \ SF (15\%) \ x \frac{1}{300} \ SF = 119 \ Stalls \\ \hline \textbf{Total Stalls Required} = 253 \ Stalls \\ \hline \end{array}$

ded Parking: ard Stalls Stalls Provided	8 Stalls 299 Stalls	Provided Loading: 28' Trailer Stalls 45' Trailer Stall Tractor Parking Dolly Storage Van Parking	27 Stalls 20 Stalls 4 Stalls 3 Stalls 33 Stalls

CHURCH STREET

ADA Parking Compliance:
ADA Stalls Required 8 Stalls
ADA Stalls Provided 8 Stalls (7 Existing, 1 Proposed)

REQUESTED VARIANCE/RELAXATION

Required Landscape Area (20% Required / 14.03% Provided)

BULK REQUIREMENTS

Zone: Industrial Transition District (ITD)				
	Item	Required	Existing	Propose
	Minimum Lot Area	40,000 SF	482,030 SF	482,030 5
	Maximum Building Height	60 Ft / 4 Stories	30 Ft / 1 Story	30 Ft / 1 Story
	Maximum FAR	0.30	0.33*	0.33*
	Primary Front Yard Setback (Orville Drive)	50 Ft	99.9 Ft	99.9 Ft
	Secondary Front Yard Setback (Lakeland Ave)	50 Ft	427.6 Ft	427.6 Ft
	Side Yard Setback	10 Ft	50.4 Ft	50.4 Ft
	Minimum Landscape	96,406 SF (20%)	86,704 SF* (17.99%)	67,625 SF (14.03%
	Minimum Front Yard Landscape (50% of Total Required)	48,203 SF (50%)	78,599 SF (82%)	59,145 S (61.35%



KTAURO GROUP

VICINITY MAP

SITE DATA	
Site Tax Map No.:	Owner:
District 500, Section 191, Block 2,	ARC FEBHMNY001
Lot 61.24	650 Fifth Avenue - 30th I
	New York, NY 10019
Use:	(212) 415-6500
Existing Industrial Warehouse	
-	Applicant:
Building Area:	SunCap Property Group
157.530 SF	6101 Carnegie Blyd Suite

6101 Carnegie Blvd S Charlotte, NC 28209 (980) 229-6006

SITE DATA

Survey Prepared by: BBV, PC

Building Area 157,530 SF

CONCEPT PLAN KEYNOTES

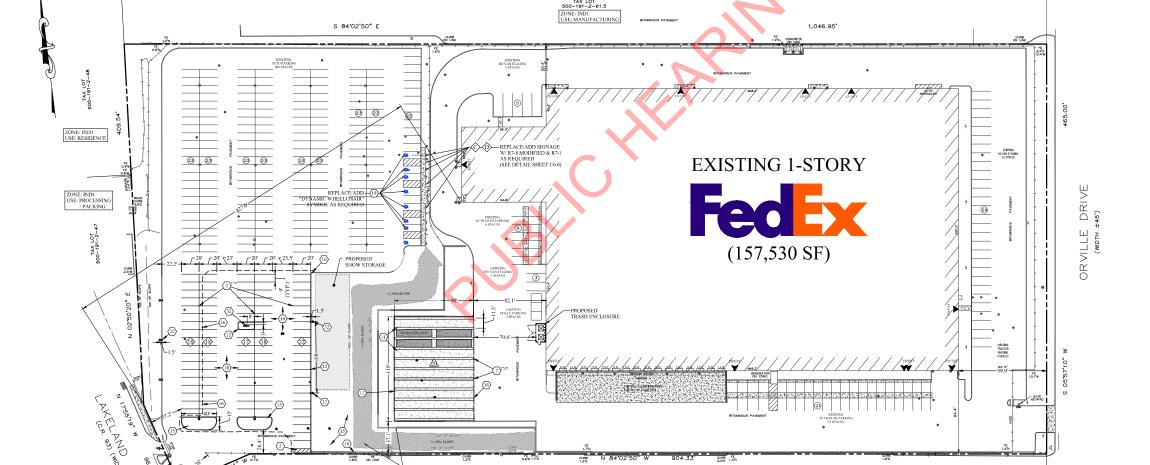
Item	Note
(2)	4" Painted Stripes (Yellow)
(9)	Bollard
(10)	Asphalt Pavement
⊕	Concrete Pavement
(12)	Concrete Curb
(15)	Landscape Area
(B)	Meet Existing Pavement / Curb
(19)	Blue Painted ADA Striping and Symbol
(32)	Light Pole
	2 0 0 0 0 0 0 0 0 0 0

SIGN KEYNOTES	
Item	Note
\limits	ADA Accessible Parking Sign (R7-8 Modified)
0	No Parking Anytime Sign (R7-1)

LEGEND

LEGEND			
Existing	Item	Proposed	
711111	Building		
	Retaining Wall		
	Property Line		
	Sawcut Line		
	Curb		
ø	Utility Pole/Light Pole		
ф	Area Light	-	
*	Sign	· =	
*	Bollards	•	
₹ A	Traffic Arrows		
——он——он——	Overhead Wires		
	Sign Keynote	\odot	
	Keynotes	(12)	
2 9	Parking (Standard)	\$	
•	Parking (Trailer)	4	
_xxx	Fence		
	Inlet	• •	

TOWN OF ISLIP APPROVAL



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SITE PLAN

PHRONESIS ENGINEERING