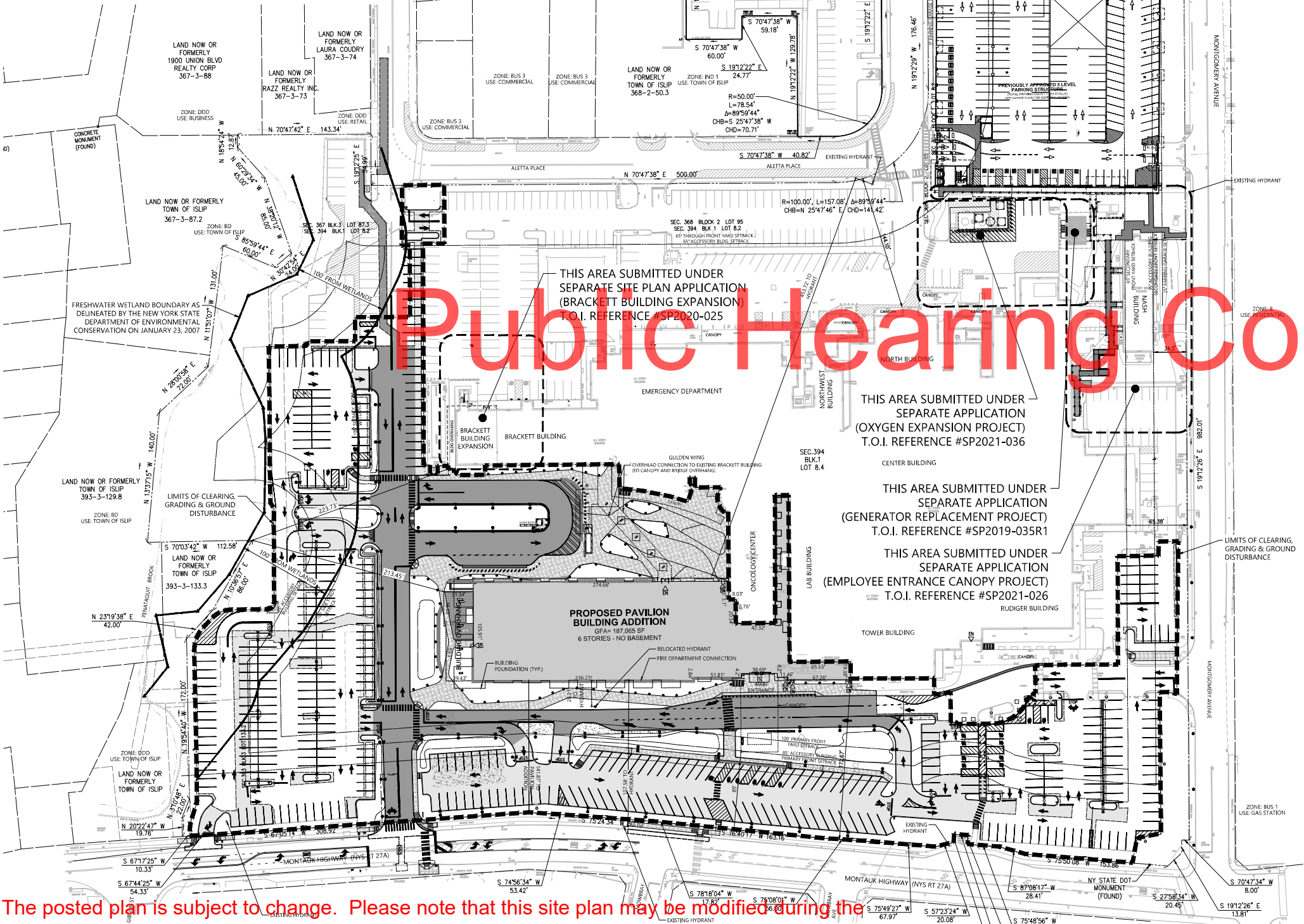


Key Map

1" = 600'



The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.

Site Information

Site Area:	830,138 SF (19.06 Acres)	Overall Project Area:	326,517 SF (7.50 Acres)
SCTM:	0500-394.00-01.00-008.004 (830,138 SF) (19,057 Acres) 0500-368.00-02.00-050.005 (36,468 SF) (0.837 Acres)	Area of Work Within Regulated Wetland Adjacent Area (Within 100' Wetland offset):	36,609 SF
Zone:	Downtown Development District (DDD)	Net Change in Impervious Surface Coverage	9,706 SF Net Decrease in Impervious Area 297 SF Net Decrease in Impervious Area
Flood Zone:	The lot is located within Flood Zone X (area of minimal flooding) as shown on the flood insurance rate map, community panel number 36103C0876H, effective date 09/25/2009.		
Survey Datum:	NAVD88		

THIS AREA SUBMITTED UNDER SEPARATE APPLICATION (HOSPITAL EXPANSION- PARKING GARAGE) T.O.I. REFERENCE #SP2019-035

THIS AREA SUBMITTED UNDER SEPARATE SITE PLAN APPLICATION (BRACKETT BUILDING EXPANSION) T.O.I. REFERENCE #SP2020-025

THIS AREA SUBMITTED UNDER SEPARATE APPLICATION (OXYGEN EXPANSION PROJECT) T.O.I. REFERENCE #SP2021-036

THIS AREA SUBMITTED UNDER SEPARATE APPLICATION (GENERATOR REPLACEMENT PROJECT) T.O.I. REFERENCE #SP2019-035R1

THIS AREA SUBMITTED UNDER SEPARATE APPLICATION (EMPLOYEE ENTRANCE CANOPY PROJECT) T.O.I. REFERENCE #SP2021-026

Zoning Summary Chart (0500-394.00-01.00-008.004)

Existing Zoning District(S):	DDD - Downtown Development District		
Zoning Regulation Requirements	Required	Existing	Proposed
MINIMUM LOT AREA	600,000 SF	830,138 SF (19.06 AC)	830,138 SF (19.06 AC)
MAXIMUM FLOOR AREA RATIO	0.6 / 1.5**	0.56	0.76
MAXIMUM BUILDING HEIGHT (HOSPITAL)	110 Feet / 6 Stories	107 Feet - 1-3/8 IN****	110 Feet / 6 Stories
MAXIMUM HEIGHT (ACCESSORY BUILDINGS)	35 Feet / 2-1/2 Stories	2 Stories	2 Stories
MAXIMUM HEIGHT (PARKING GARAGE)	65 Feet / 5 Stories	60 Feet - 2 IN / 5 Stories	60 Feet - 2 IN / 5 Stories
MINIMUM LANDSCAPE	20% (166,028 SF)	15.4% (133,888 SF) †	17.3% (143,594 SF) †
MINIMUM LANDSCAPE FRONTAGE	50% Required / 10% Site area excluding any required buffer zone (71,922 SF)	58.2% / 11.8% (77,704 SF)	48.4% / 9.5%* (65,616 SF)
MAIN BUILDING			
PRIMARY FRONT YARD BUILDING SETBACK (MONTAUK HIGHWAY)	100 Feet	86.34 Feet	141.87 Feet (Building) 85.00 Feet (Canopy)
SECONDARY FRONT YARD (MONTGOMERY AVENUE)	65 Feet	65.38 Feet	65.38 Feet
THROUGH FRONT YARD SETBACK (UNION BOULEVARD)	65 Feet	393.4 Feet	393.4 Feet
THROUGH FRONT YARD SETBACK (ALETIA PLACE EAST)	65 Feet	N/A	N/A
THROUGH FRONT YARD SETBACK (ALETIA PLACE SOUTH)	65 Feet	144.1 Feet	144.1 Feet
SIDE YARD SETBACK	100 Feet	233.3 Feet	213.45 Feet
REAR YARD SETBACK	100 Feet	N/A	N/A
ACCESSORY BUILDING (NASH BUILDING)			
PRIMARY FRONT YARD BUILDING SETBACK (MONTAUK HWY)	85 Feet	537.6 Feet	537.6 Feet
SECONDARY FRONT YARD (MONTGOMERY AVENUE)	35 Feet	135 Feet	135 Feet
THROUGH FRONT YARD SETBACK (UNION BOULEVARD)	65 Feet	347.8 Feet	347.8 Feet
SIDE YARD SETBACK	65 Feet	N/A	N/A
REAR YARD SETBACK	65 Feet	N/A	N/A
PARKING GARAGE ACCESSORY TO HOSPITAL****			
MINIMUM SETBACK TO STREET FRONTAGE (MONTGOMERY AVENUE / UNION BLVD)	25 Feet	25 Feet	25 Feet
MINIMUM SETBACK TO STREET FRONTAGE OPPOSITE DOWNTOWN DEVELOPMENT DISTRICT (DDD)	5 Feet	6.98 Feet	6.98 Feet

NOTE: A MODIFICATION OF THE REQUIRED PARKING STALL DIMENSIONS WITHIN THE PARKING GARAGE WAS GRANTED BY THE TOWN OF ISUP PLANNING BOARD ON FEBRUARY 28, 2019 (T.C. #5319 - EFFECTIVE DATE 5/19/19), SAID PARKING STALLS SHALL BE A MINIMUM OF 16 FEET IN LENGTH (STALL WITHOUT AN OVERHANG) 8.5 FEET IN WIDTH AND A 24 FOOT BACKUP/ DRIVE ABLE STALLS LOCATED AT STRUCTURAL TIERS LESS THAN 18' LONG WILL HAVE BEEN REMOVED FROM THE TOTAL PROVIDED PARKING UNLESS THEY ARE POSITIONED AT THE CENTER OF THE EDGE STRIPING.

Parking Summary Chart

Description	Existing Spaces	Required Spaces
EXISTING STANDARD PARKING SPACES	1,738	1,738
EXISTING ACCESSIBLE PARKING SPACES*	50	50
TOTAL EXISTING PARKING SPACES	1,788	1,788
Description	Existing Conditions	Proposed Spaces ¹
STANDARD PARKING SPACES	1,110	1,340
ACCESSIBLE PARKING SPACES*	22	28
TOTAL PROPOSED PARKING SPACES	1,132	1,368
SURFACE PARKING SPACES	673	914
ACCESSIBLE PARKING SPACES*	38	38
TOTAL PROPOSED PARKING SPACES	1,625	1,625

NOTE: PLANNING BOARD RELAXATION REQUIRED FOR ANGLED PARKING PER THE SUPERVISION AND LAND DEVELOPMENT REGULATIONS

* 2% OF TOTAL PARKING SPACES REQUIRED

Floor Area Ratio Calculation (F.A.R.)

GROSS FLOOR AREA (SF) / TOTAL LOT AREA (SF) = F.A.R.

EXISTING GROSS FLOOR AREA (BY BUILDING):	
BRACKETT BUILDING	= 56,505 SF
BRACKETT BUILDING EXPANSION	= 13,246 SF
ONCOLOGY BUILDING	= 7,323 SF
CENTER BUILDING	= 25,385 SF
EAST BUILDING	= 56,623 SF
EMERGENCY DEPARTMENT	= 19,261 SF
GOLDEN WINGS	= 24,393 SF
LAB BUILDING	= 23,703 SF
NASH BUILDING	= 4,059 SF
NORTH BUILDING	= 18,813 SF
NORTH WEST BUILDING	= 19,340 SF
RUDIGER BUILDING	= 43,766 SF
TOWER BUILDING	= 122,361 SF
EXISTING SUB-TOTAL ¹	= 434,778 SF
OUTPATIENT REHAB FACILITY	= 15,266 SF
EXISTING TOTAL:	= 450,044 SF

EXISTING BUILDING CANOPIES/OVERHANGS	
BRACKETT CANOPY	= 32 SF
BRACKETT OVERHANG	= 885 SF
EMERGENCY DEPARTMENT	= 5,050 SF
PARKING GARAGE	= 340 SF
NASH BUILDING	= 261 SF
RUDIGER BUILDING	= 5,293 SF
EMPLOYEE ENTRANCE CANOPY	= 3,560 SF
HERNIMAN GARDEN CANOPY	= 783 SF
EXISTING TOTAL:	= 16,243 SF

EXISTING GROSS FLOOR AREA (TOTAL):	466,287 SF / 830,138 SF	= 0.56
EXISTING F.A.R. =	0.56	

PROPOSED GROSS FLOOR AREA:	
DEMOLITION OF OUTPATIENT REHAB FACILITY	= -15,266 SF
REMOVAL OF EXISTING GUARD BOOTH	= -29 SF
PROPOSED PAVILION BUILDING EXPANSION	= 187,065 SF
PROPOSED MAIN ENTRANCE CANOPY	= 3,390 SF
PROPOSED ED CANOPY AND BRIDGE OVERHANG	= 3,115 SF
PROPOSED PAVILION OVERHANG	= 2,896 SF
PROPOSED GUARD BOOTH	= 56 SF
TOTAL	= 181,227 SF

PROPOSED GROSS FLOOR AREA (TOTAL):	647,514 SF / 830,138 SF	= 0.78
PROPOSED F.A.R. =	0.78	

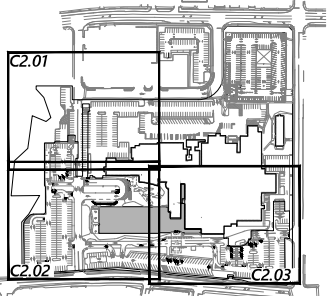
NOTES:
1. EXISTING SUB-TOTAL PER "CAMPUS MASTER PLANNING" ATTACHMENT PREPARED BY CIVIL CONSULTING ENGINEER FOR THE TOWN OF ISUP. THE TOWN OF ISUP IS NOT COUNTED TOWARD THE F.A.R. SITE CALCULATION AND IS THUS EXCLUDED FROM CHART ABOVE.
2. PER TOWN CODE, PARKING GARAGE (119,231 SF) IS NOT COUNTED TOWARD THE F.A.R. SITE CALCULATION AND IS THUS EXCLUDED FROM CHART ABOVE.

CON #201151
S.C.T.M. #: 0500-394.00-01.00-008.004
0500-368.00-02.00-050.005
SP2020-048
TOI SITE PLAN #: 15-20162555
UNIFIER #:

vhb.com

vhb

Engineering, Surveying,
Landscape Architecture
and Geology, PC
100 Motor Parkway
Suite 350
Hauptpage, NY 11788
631.787.3400



Key

Not To Scale

NOTE
REFER TO SHEETS C2.01 THROUGH C2.03 FOR
PARKING LOT DIMENSIONS AND LABELS

Required Planning Board Relaxation

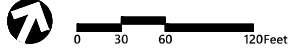
MINIMUM LANDSCAPE - 2.7% RELAXATION (20% REQUIRED, 17.3% PROVIDED) (EXISTING NON-CONFORMANCE TO REMAIN)
MINIMUM LANDSCAPE FRONTAGE - 1.6% / 0.5% RELAXATION (50% / 10% REQUIRED, 48.4% / 9.5% PROVIDED)

Required Zoning Board Relaxation

MAXIMUM LIGHT FIXTURE HEIGHT - 3'-6" RELAXATION (20'-0" MAXIMUM, 18 FIXTURES AT 23'-2" / 8 FIXTURES AT 23'-6" / 325 LF AT 23'-2" PROVIDED)

General Note

PAVILION BUILDING EXPANSION PLANS BASED ON PREVIOUSLY APPROVED PLANS FOR NORTHWEST HEALTH-SOUTHSHORE HOSPITAL, PHASE I - PARKING GARAGE DATED APRIL 30, 2019, APPROVED BY TOWN OF ISUP ON SEPTEMBER 3, 2019. T.O.I. REFERENCE #SP2019-035, AND UPDATED TO INCLUDE GENERATOR REPLACEMENT PROJECT, APPLICATION #SP2019-1551, BRACKETT BUILDING EXPANSION SITE PLAN APPLICATION #SP2020-048, EMPLOYEE ENTRANCE CANOPY PROJECT #SP2021-026



South Shore University Hospital Pavilion Building Expansion

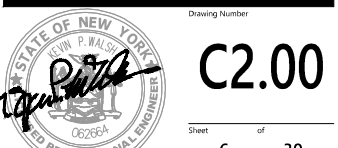
301 E. Main Street
Bay Shore, NY 11706

No.	Revision	Date	Appr'd
5	Revised per Foundation Package	03/20/2021	KPW
5	Revised per SCOWS Initial Submission	03/15/2021	KPW
4	Revised per Town Comments	10/18/2021	KPW
3	Revised per Town Comments	04/30/2021	KPW
2	--	02/02/2021	DK
1	Issue 4 - DSG1.0 Design Development	12/21/2020	DK

Designed by: RDH
Checked by: DK
Issued for: Permit
Date: August 12, 2020

Not Approved for Construction

Drawing Title:
**Overall
Layout and
Materials Plan**



C2.00

Sheet 6 of 30

Project Number
26011.07