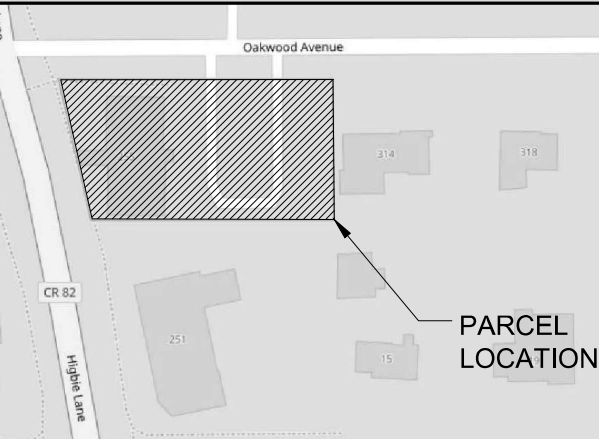


The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.

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- SP-6 - EXISTING CONDITIONS & REMOVALS PLAN
- SP-7 - SITE DETAILS

LOCATION MAP



ENGINEERING NOTES:

CONTACT THE ENGINEERING INSPECTOR (631-224-5360) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK. WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE TOWN ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE.

COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS, ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.

OBTAIN A TOWN ROADWAY WORK PERMIT (631-224-5610)

CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.

PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN, COMMENCEMENT OF ANY ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.

CONTRACTOR SHALL CONTACT THE FIRE MARSHAL'S OFFICE (631-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.

ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT, IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.

RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) IS TO BE CERTIFIED, DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDEC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF 8NYCRR PART 360, "SOLID WASTE MANAGEMENT FACILITIES."

LOAD TICKETS REQUIRED FOR ALL MATERIALS BROUGHT ON SITE, IDENTIFYING THE SOURCE, AND QUALITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 2SB.

ALL CONSTRUCTION & DEMOLITION EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED NYSDEC FACILITY. LOAD/TRANSFER TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.

THE ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P. 5 SHALL BE FOLLOWED.

APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE, THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PAGES 5A.75 AND 5A.76 SHALL BE FOLLOWED, CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.

REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE GASES AND/OR FUMES, APPLICANT/OPERATOR SHALL MAINTAIN REFUSE ENCLOSURE GATE IN A CLOSED POSITION EXCEPT AT TIMES UNITS ARE BEING ACCESS FOR LOADING OR UNLOADING OF DUMPSTERS.

PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATION(S) TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK.

PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AN UNDERWRITER'S LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.

SITE DATA

SITE AREA	19,180 SQ.FT. (0.44 ACRES)
ZONED	BUSINESS-1/ RESIDENCE B
ZONED LOT %	**89.4% BUSINESS-1 / 10.6% RESIDENCE B
** MARGINAL INCREASE IN RESIDENTIAL ZONING PERCENTAGE TO BE REVIEWED AND AND INTERPRETED BY THE COMMISSIONER OF PLANNING IN CONFORMANCE W/ 68-12C(3)	
DATUM	NAVD88
SURVEY PREPARED BY	PETER J. BRABAZON PLS, P.C. LAND SURVEYOR (6/23/22)
BUILDING HEIGHT	24'-10"
CELLAR AREA (7'-0" HEIGHT) (NO INCLUDED IN FAR)	196 SQ.FT.
FIRST FLOOR AREA	3,200 SQ.FT.
SECOND FLOOR AREA	3,200 SQ.FT.
TOTAL GROSS FLOOR AREA (GFA)	6,400 SQ.FT.
FLOOR AREA RATIO(FAR)	ALLOWABLE 40% EXISTING 33.4%

USE BUSINESS

PARKING COMPUTATIONS

PARKING REQUIRED:	
6,400 S.F. @ 1 STALL/ 150 S.F (MEDICAL) =	43 STALLS
TOTAL REQUIRED:	43 STALLS
TOTAL PROVIDED:	24 STALLS
HANDICAPPED STALL 20% (5) STALLS PROVIDED	** AS PER SECTION 1105 NYSBC 200 OUTPATIENT PHYSICAL THERAPY FACILITIES

ON SITE QUANTITIES	EXISTING
ASPHALT PAVING AREA #1	10,728 S.F.
ASPHALT PAVING AREA #2	660 S.F.
PAVED SIDEWALK	447 S.F.

LANDSCAPING QUANTITIES	REQUIRED	PROVIDED
TOTAL LANDSCAPED AREA	3,836 SQ.FT. (20%)	4,307 SQ.FT.
50% REQ'D FRONT YARD LANDSCAPE	1,918 SQ.FT. (50%)	3,047 SQ.FT.
RESIDENTIAL BUFFER	25' FT	4.6' FT.

ENSPIRE
Design Group, PLLC

Architect
ENSPIRE DESIGN GROUP, PLLC
4964 EXPRESSWAY DRIVE, SUITE 1
ROCKY HILL, NEW YORK, 11779
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MICHAEL F. MORRILLO, AIA - Principal
New York State License #25202
WWW.ENSPIREPLLC.COM

INFORMATION TAKEN FROM A
SURVEY PREPARED BY:
PETER J. BRABAZON PLS, P.C.
LAND SURVEYOR
DATED: 5/23/23
430 WEST OLD COUNTRY Rd.
HICKSVILLE NY 11801
(516) 822-5111

APPLICANT INFORMATION:
GOODMAN PHYSICAL THERAPY P.C.
255 HIGBIE LANE WEST ISLIP 11795
631-244-3421
SITE PLAN No. SP2023-007

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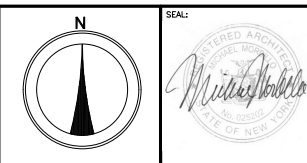
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General Notes

LEGEND

	INLET
	UTILITY POLE
	EXIST. TREE
	DRAINAGE PATH
	PROP. LEACHING POOL (OPEN GRATE)
	PROP. LEACHING POOL (CLOSED GRATE)
	SILT FENCE
	EXIST. SPOT ELEVATION
	PROP. SPOT ELEVATION
	WATER SERVICE
	ELECTRIC SERVICE
	GAS SERVICE
	SEWER SERVICE
	EXIST. UTILITY POLE
	DRAIN FLOW ARROW

3.	10/19/23	Planning board Relaxation
2.	9/19/23	Town Comments
1.	6/23/23	Town Comments
No.	Date	Revision Description



PROJECT TITLE:
SITE PLAN FOR GOODMAN PHYSICAL THERAPY P.C.
255 HIGBIE LANE,
WEST ISLIP, N.Y. 11795
SCTM# 0500-436-3-57

TITLE SHEET:	
SITE PLAN	
PROJECT NO. 22-106	SHEET NO.
DATE: 3/23/23	
DESIGN BY: MICHAEL F. MORRILLO, AIA	
DRAWN BY: EG	
CHECKED BY: MFM	
SCALE: 1"=20'	SP-1
	1 OF 7

SITE PLAN

SCALE: 1"=20'

